

MINUTES

Montevallo City Council Special Session

November 30, 2020

6:00 p.m. at City Hall

Mayor Rusty Nix, Council Member David King, Council Member Lelia Mitchell, Council Member Kenneth Dukes, Council Member Sonya Swords, Council Member Martha Eisenberg were in attendance.

Also Present Kristine Goddard and Sharman Brooks Shelby County Planning and Development Services

Virtual Attendees Via Zoom Meeting were: Max Cookes (Developer), Matthew Burgess (City Engineer), Kim Flaim (Developer)

Public attendees are listed on Sign in Sheet: Appendix 1

Pledge of Allegiance

Mayor Nix opened the Special session at 6:00 p.m. for the purpose of 2 Public Hearings

Public Hearing: Opened by Mayor nix at 6:03 PM

Case No. SD20-008 – Lexington Parc, Amended Master Plan

This is a request from Dan Mason, representing St. Bourke, on behalf of the property owner, for approval of an amended Master Plan to modify the total lot count from 237 lots to 258 lots and reduce the minimum lot width from 70 feet to 60 feet.

The subject property is located on State Route 119 in the Lexington Parc Subdivision and zoned R-2 SD; Parcel Identification Numbers 58-27-1-02-0-005-032.000 and 58--27-1-02-0-005-033.000.

Kristine Goddard read the recommendation from the Planning and Zoning Commission Review of Case No. SD20-008 – Lexington Parc, Amended Master Plan. Appendix 2

Max Cookes (Lexington Parc Development) made a presentation to the Council discussing the specifics of the proposed changes to lot sizes and required setbacks. Discussed the process of notifying and meeting with current property owners and public meetings held to discuss changes to get public input. Mr. Cookes stated a petition was circulated at these meetings and signed by all in attendance. Improvement were made to entrance to sub-division and a walking trail and water feature were added as part of the changes. Appendix 3.

Question from Councilwoman Eisenberg: How many homes exist currently and how many of those owners were present at the meetings? Mr. Cookes stated that 30 homes exist, and 24 property owners were present at the meeting.

Question from Councilwoman Eisenberg: What was being done by the home builders to reduce construction noise during current building phase and were noise abatement material being used to reduce noise between residents' homes?

Mr. Cookes stated that staggered schedules would be in place to help with construction noise during building phase. Acoustic materials are added to the walls to help with noise reduction between individual residences. He also noted that a walking track and a small park are part of the amenities offered in the plan.

Mayor Nix called for any comments opposed to the proposed plan changes. None were given or recorded via live Facebook feed or from those present in Council Chambers. City Clerk Steve Gilbert called Council's attention to the one opposing letter received via email from resident Tom Ingram. Appendix 4

Councilman Dukes spoke in favor of the plan. Mayor Nix called for any other comments. None were made. Mayor Nix closed the public hearing on Lexington Parc at 6:30 PM

Councilman King made a motion to accept the recommendation of the Planning and Zoning Commission for Case No. SD20-008 – Lexington Parc, Amended Master Plan Councilman Dukes Second. All Ayes Motion passed.

Mayor Nix opened the Public Hearing on Case No. SP20-009 Xcaret Grill - Site Plan At 6:32 PM

Kristine Goddard read the recommendation of the Planning and Zoning Commission regarding the site plan for Xcaret Grill. Appendix 5

Mayor Nix called for Comments and Questions.

Councilman Dukes asked about drainage issues raised from adjoining property owner Mark Robinson. City Engineer Matthew Burgess stated that the presented site plan did not make any changes to the grading of the property and would not change the current drainage. City Clerk Steve Gilbert called council's attention to the letter and photographs received via email from the adjoining property owner Mark Robinson.

The drainage issue in question has existed during times of heavy rain and it was recommended that the property owners discuss a way to help reduce the flow of water during heavy rains (i.e. planting of shrubs or a natural area) in lieu of altering the submitted plan or making changes to the grading.

C.P. Pierson 1131 Oak Street asked a question regarding the current direction of drainage from the property. City Engineer Matthew Burgess stated that the current drainage from the property or its direction was not being altered.

City Clerk Steve Gilbert will provide contact information between the property owners to address the concerns.

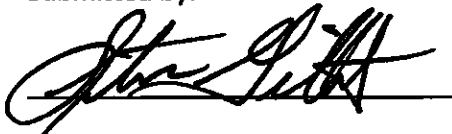
Mayor Nix called for other comments or questions from the live Facebook stream or those present. None were received.

Mayor Nix closed the Public Hearing on Case No. SP20-009 Xcaret Grill - Site Plan at 6:48 PM

Councilman Dukes made a motion to accept the recommendation of the Planning and Zoning Commission regarding Case No. SP20-009 Xcaret Grill - Site Plan. Councilman King Second. All Ayes Motion passed.

There being no further business to come before the Council Mayor Nix called for a motion to adjourn. Motion made by Councilman King. Second Councilman Dukes. All Ayes. Meeting adjourned at 6:50 PM

Submitted by:

A handwritten signature in black ink, appearing to read "Steve Gilbert", written over a horizontal line.

Steve Gilbert
City Clerk / Treasurer

Steve Gilbert

From: Lisa Terrill
Sent: Monday, November 9, 2020 1:28 PM
To: Steve Gilbert
Subject: FW: Case No SD20-008

From: Tom Ingram <tingram0126@gmail.com>
Sent: Monday, November 9, 2020 1:12 PM
To: Lisa Terrill <lterrill@CityofMontevallo.com>
Subject: Case No SD20-008

In response to the recent letter notifying us of Mr. Mason's request and City Council meeting tonight, I would like to respond that I am not in favor of this change. Adding more housing affects our community negatively into the following ways. The privacy, peace and quiet will be disrupted by the added noise levels. More homes means more traffic on our stressed infrastructure. Additionally, on a more personal note, water run off from Lexington Parc property drains across my property. We already have water issues during heavy rains. More roofs, asphalt and concrete will compound that problem.

Please contemplate these points as you review this request and deny the request to increase the number of lots.

Thank you for your time and consideration in this matter.

Tom Ingram
(205) 901-7629

----- Forwarded Message -----

From: Mark Robinson <rbznest@bellsouth.net>
To: Mark Robinson <rbznest@bellsouth.net>
Sent: Tuesday, November 10, 2020, 10:25:13 AM CST
Subject: Fw: Xcaret Restaurant

----- Forwarded Message -----

From: Mel Robinson <gigirob@bellsouth.net>
To: Mel Robinson <gigirob@bellsouth.net>; Nikki Robinson <rbznest@bellsouth.net>
Sent: Wednesday, November 4, 2020, 11:30:13 AM CST
Subject: Fw: Xcaret Restaurant

----- Forwarded Message -----

From: Mel Robinson <gigirob@bellsouth.net>
To: iterrell@cityofmontevallo.com <iterrell@cityofmontevallo.com>
Sent: Wednesday, November 4, 2020, 11:28:05 AM CST
Subject: Xcaret Restaurant

Lisa,

I am the owner of the property adjacent to the former Eclipse property - 650 Bloch Street, The Santa Fe Apartments. I am eager to participate in the commerce of the future Xcaret Restaurant as are my tenants in the various apartments I own across town. In fact I welcome their business to our city and the spruce up of the former property proposal. I have no dispute with the proposal whatsoever. However, I would like to make a friendly suggestion to the proposal of the future changes.

See Photos attached: In the past I have had a few flooding issues with the runoff from the stated property into my apartments with the once a decade storms of 6"-8" rains in a day. I have had to build a directing runoff Berm to take the runoff from such storms around my building towards the south and towards Orr Park and the field next to these properties. It seems to work fairly well. But, with the additional parking paving and sidewalk construction that is pushing the boundary towards the bank and drainage ditch I worry that it may increase the storm runoff to the ditch and into my apartments.

The easy solution I am suggesting and am sure Mister Jimenez will receive is to push the soil to create a small Berm or pour a solid curb to the additional parking on the West/South of his building to direct storm water runoff towards the south and into the field adjoining and not towards my apartments. The cost of this will be really absolute 0\$ dollars except for the preparation of the soil and grass area for the concrete pour or paving for a berm. I do not have a contact for Mister Jimenez, so if you could convey this to him before or during the hearing on Monday I would greatly appreciate it or if you could share his contact with me so I could confer myself. Please tell him I come in peace (as always) but would appreciate his consideration in this matter, Thank you so very much.

Sincerely,

Mark D Robinson and Mel D Robinson
Owners of 650 Bloch Street - Santa Fe Apartments
Cell: 2052812640
Office: 2056652017

Steve Gilbert

From: KRISTINE GODDARD <KGODDARD@shelbyal.com>
Sent: Tuesday, November 10, 2020 3:27 PM
To: Steve Gilbert
Subject: RE: Xcaret Restaurant

Thank you.

Thank you,
Kristine

Please note: Due to the uncertainty related to COVID-19, we are copying the Planners and Administrative Assistant on all emails and ask you to do so when transmitting review comments via email. Thank you for partnering with the Planning staff as we strive to provide the least-disruptive customer service possible.

Kristine Goddard, AICP
Principal Planner
Shelby County Development Services-Planning Services
Shelby County, Alabama
kgoddard@shelbyal.com
205.620.6612

From: Steve Gilbert <sgilbert@CityofMontevallo.com>
Sent: Tuesday, November 10, 2020 3:27 PM
To: KRISTINE GODDARD <KGODDARD@shelbyal.com>
Subject: FW: Xcaret Restaurant

Kristine, This is the email I received from the adjacent property owner to Xtera.

Steve

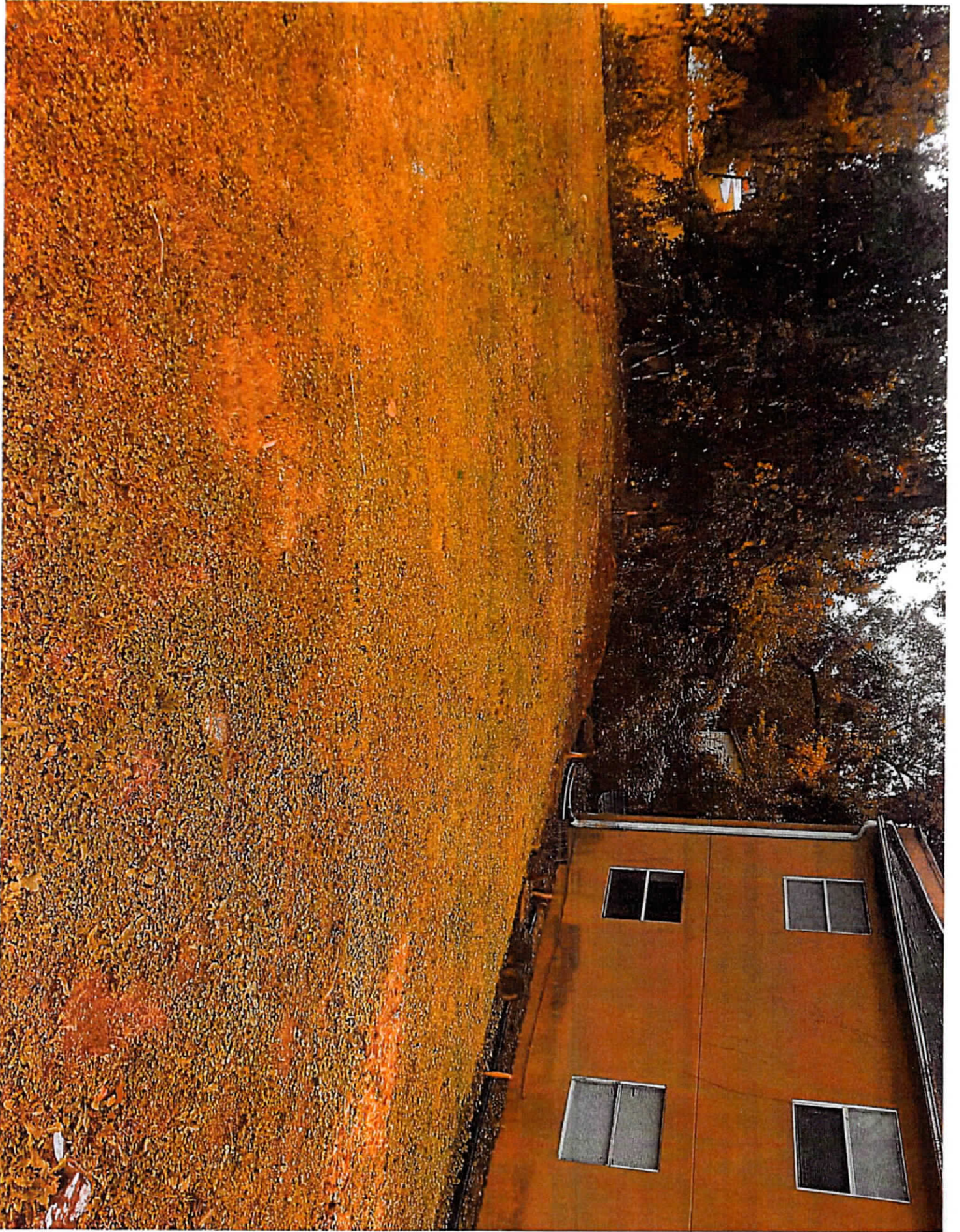


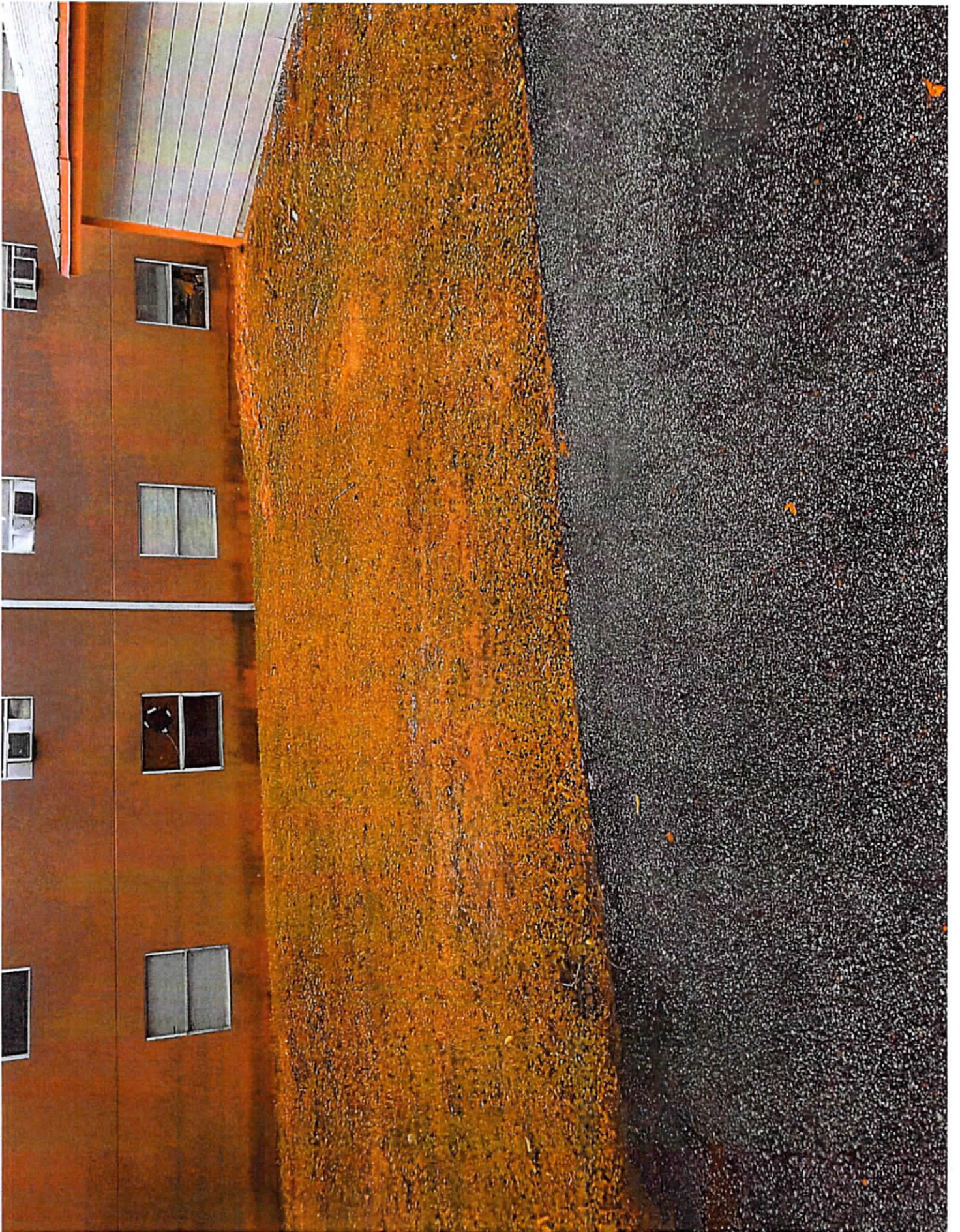
Steve Gilbert

Steve Gilbert
City Clerk / Treasurer
205-665-2555 Ext. 105

From: Mark Robinson <rbznest@bellsouth.net>
Sent: Tuesday, November 10, 2020 10:26 AM
To: Steve Gilbert <sgilbert@CityofMontevallo.com>
Subject: Fw: Xcaret Restaurant









City of Montevillo

Public Hearing Attendance Record

Meeting: Case No. SD20-008 – Lexington Parc, Amended Master Plan
Case No. SP20-009 Xcaret Grill - Site Plan

Date: November 30, 2020
Time: 6:00 PM
Location: City Council Chamber

<u>Name</u>	<u>Address</u>	<u>Signature</u>
Bobby J. Pierson	1131 OAK ST	[Handwritten Signature]
BEN WATSON	5800 FELDS PARK WAY HOOPER, AZ	[Handwritten Signature]

REPORT TO THE MONTEVALLO CITY COUNCIL
Department of Development Services

November 30, 2020

SD20-008 Lexington Parc– Amended Master Plan

Note: The Montevallo Planning and Zoning Commission reviewed case, SD 20-008 Lexington Parc, Amended Master Plan on October 15, 2020, and recommended approval of the amended Master Plan including revised lot widths of 60 feet and reduced side yard setbacks of five feet.

This is a request from Dan Mason, representing St. Bourke, on behalf of the property owner, Stars & Stripes 3M, LLC, for approval of an amended Master Plan to modify the total number of lots in Lexington Parc from 237 lots to 258 lots and reduce the minimum lot width from 70-feet to 60 feet. The subject property is located on State Route 119 in the Lexington Parc Subdivision and zoned R-2 SD; Parcel Identification Numbers 58-27-1-02-0-005-032.000 and 58-27-1-02-0-005-033.000.

The 2005 approved Master Plan included a total of 237 single family residential lots. The proposed amendment includes 21 additional lots for a total of 258 lots. The proposed lots are 60-foot wide with an average size of 7,500 square feet (60' x 125'). The overall density from 237 lots on 79.84 acres at 2.97 units/acre to 258 lots on 79.84 acres at 3.23 units/acre is an increase of approximately 0.26 units per acre.

To date, Lexington Parc has recorded 90 lots in three development sectors as shown in the chart below.

	Approved Date	Lots
Original Master Plan	2005	237 total lots
<i>Amended Master Plan</i>	<i>Proposed October 2020</i>	<i>258 total units</i>
Sectors or Phases Recorded To Date		
Sector 1	May 2007	31 lots
Sector 2	Nov. 2010	34 lots
Phase 3 (i.e. Sector 3)	May 2020	25 lots

The applicant also requested a reduction in the required side yard setback to accommodate a more narrow lot configuration. The 2005 approved dimensional requirements and the proposed modifications are shown in the following chart.

Lexington Parc 2005 Minimum Yards				Minimum Lot Width
Front	Rear	One Side	Total Both Sides	
25 feet	25 feet	6 feet	14 feet	70 feet
Lexington Parc Proposed Minimum Yards				
25 feet	25 feet	5 feet	10 feet	60 feet

SUMMARY

The proposed Lexington Parc Amended Master Plan addresses approximately 54 acres of the total 79.84 acre development. The applicant proposes to modify the remaining phases of Lexington Parc by:

- increasing the total number of lots to 258; and,
- reducing lot widths; and,
- reducing side setbacks.

The proposed amendment to the Lexington Parc Master Plan is consistent with the requirements of Section 18.02 Planned Residential District of the *City of Montevillo Zoning Ordinance*. The following information should be submitted pursuant to amendment approval:

- Applicant submitting a fully engineered preliminary plat that meets all requirements of the Zoning Ordinance of the City of Montevillo; and,
- Applicant submitting an application for final plat approval within two (2) years of approval of each preliminary plat. Failure to apply may necessitate reapplication for preliminary plat approval; and,
- Any amendments, additions, deletions, alterations or changes to the approved Special District plan shall require the review and approval of an amendment to the approved Special District plan by the City of Montevillo Planning & Zoning Commission and City Council.

The following item is attached with this report:

- October 15, 2020 staff report to the Planning and Zoning Commission and supporting documents.

REPORT TO THE CITY OF MONTEVALLO

PLANNING & ZONING COMMISSION

Department of Development Services

October 15, 2020

SD20-008

Lexington Parc– Amended Master Plan

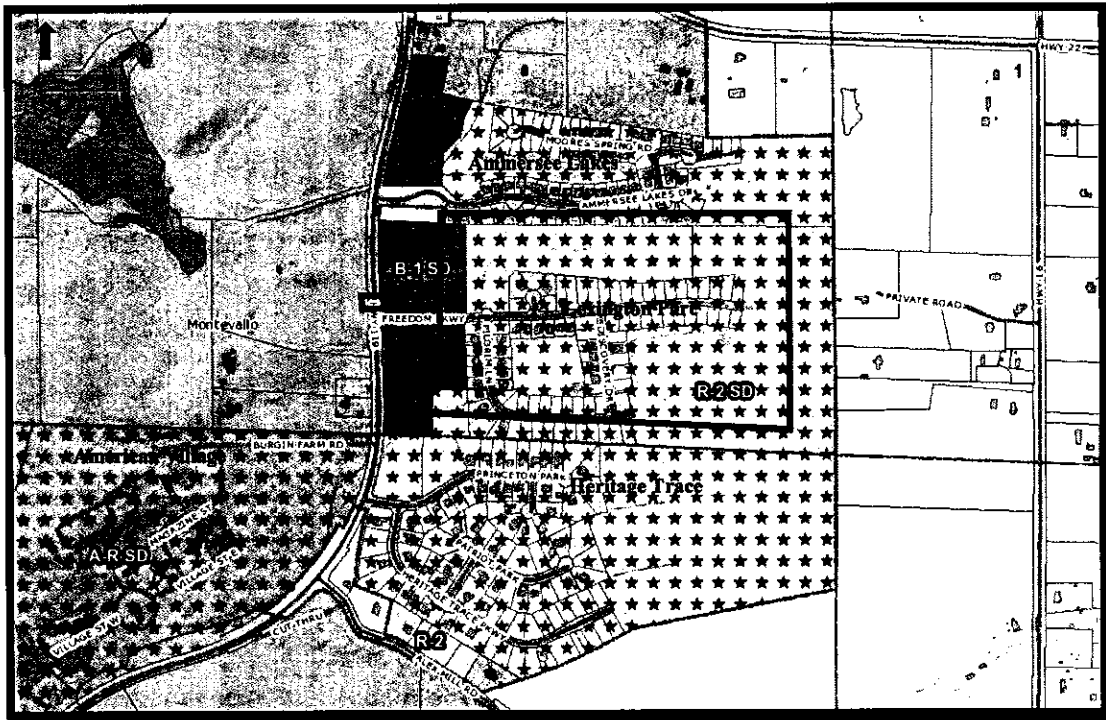
This is a request from Dan Mason, representing St. Bourke, on behalf of the property owner, Stars & Stripes 3M, LLC, for approval of an amended Master Plan to modify the total number of lots in Lexington Parc from 237 lots to 258 lots and reduce the minimum lot width from 70 feet to 60 feet.

The subject property is located on State Route 119 in the Lexington Parc Subdivision and zoned R-2 SD; Parcel Identification Numbers 58-27-1-02-0-005-032.000 and 58-27-1-02-0-005-033.000.

DISCUSSION

Site Description and Surrounding Land Uses

The Lexington Parc subdivision is located on the east side of AL Highway 119 and north of the American Village. In addition to the American Village (A-RSD), the surrounding land uses include Heritage Trace subdivision (R-2SD) to the south and Ammersee Lakes subdivision (R-2SD) to the north. Commercially zoned (B-1SD) properties are located along the east side of AL Highway 119 and on both sides of the entrance to Lexington Parc. A Dollar General store is currently under construction in the immediate area.



Site History and 2005 Master Plan

In 2005, Lexington Parc was established as a master planned community and was originally zoned D-1, Development District. The approved Master Plan included 79.84 acres, 237 lots with a minimum lot width of 70-feet, ranging in size from 8,300 -14,500 square feet and with an overall density of approximately three (3) dwelling units per acre.

2005 Lexington Parc Special District				
25 ft.	25 ft.	6 ft. one side/14 total feet	8,000 sq. ft.	70 ft

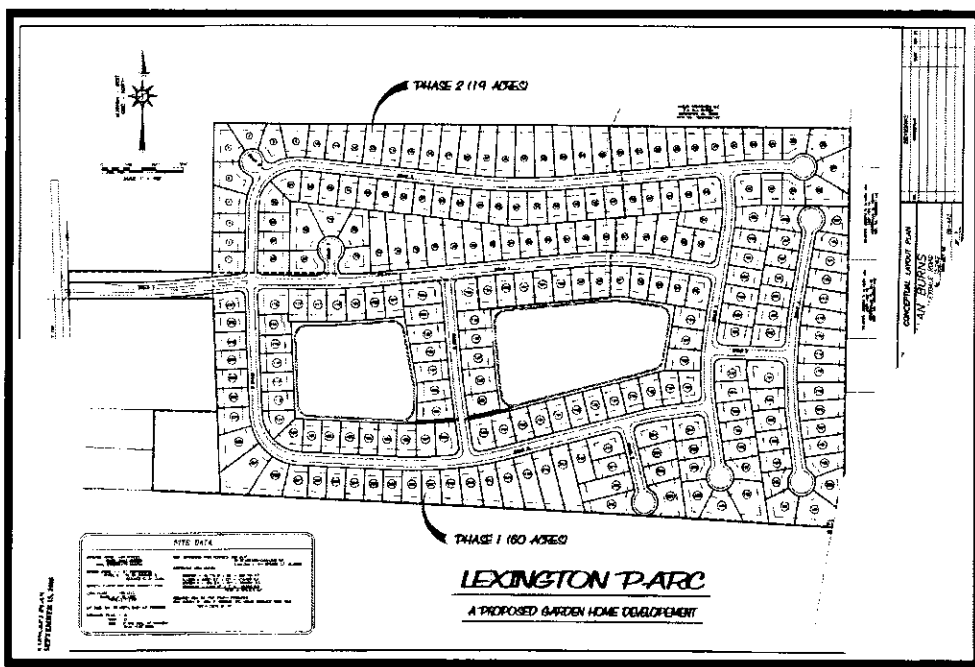
The original Master Plan was intended to be developed in two phases of construction according to the City regulations in place at the time. Phase I of the project saw Sector 1 recorded in 2007 (Map Book 38, Page 81) and Sector 2 recorded in 2010 (MB 49, PG 29).

In 2010, the City of Montevallo and Shelby County Development Services entered into a Development Services Agreement that included updating Zoning, Subdivision and Flood Regulations; and the implementation and administration of those regulations. The current Zoning Regulations were adopted by the City Council in June, 2012. The SD, Special District designation was applied to those developments that include areas where expansion of the existing development could occur and may apply for additional lots subject to submission of a revised site development plan that:

- Meets the minimum requirements of the ordinance;
- Conforms and compliments the existing development;
- Has been reviewed and approved by the Planning and Zoning Commission and City Council.

Any changes to previously approved Site Development Plans, Master Plans or Preliminary Plats require Planning Commission and City Council approval and will be reviewed pursuant to the R-2, Single Family Residential zoning district with special consideration of Article 18, Special Districts of the Zoning Ordinance of the City of Montevallo.

2005 Master Plan



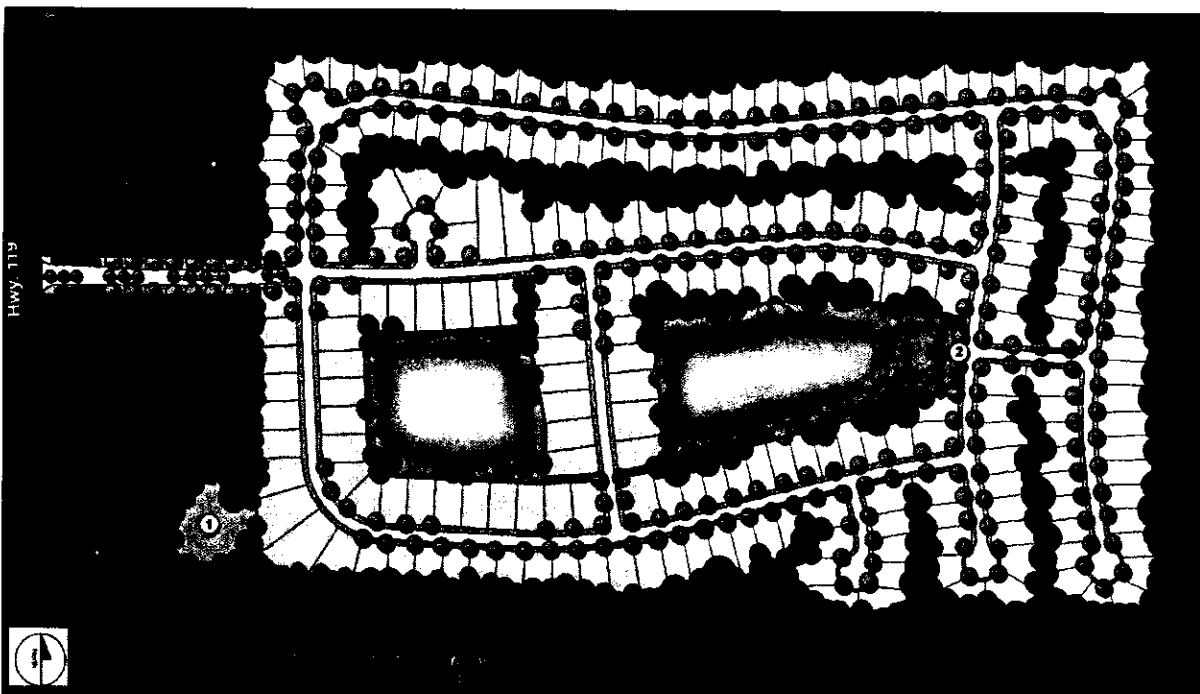
In May 2020, Lexington Parc, Phase 3 (i.e. Sector 3) was reviewed and approved, according to the current regulatory standards as adopted in 2012. Phase 3 (i.e. Sector 3), containing 25 lots, was recorded in Map Book 52, Page 62. To date, Lexington Parc has developed in accordance with the approved 2005 Master Plan.

	Approved Date	Lots
Original Master Plan	2005	237 total lots
Amended Master Plan	Proposed October 2020	258 total units
Sectors or Phases Recorded To Date		
Sector 1	May 2007	31 lots
Sector 2	Nov. 2010	34 lots
Phase 3 (i.e. Sector 3)	May 2020	25 lots

Proposed Amendment

The proposed Lexington Parc Amended Master Plan addresses approximately 54 acres of the total 79.84 acre development. The applicant proposes to modify the remaining phases of Lexington Parc by increasing the total number of lots to 258, reducing lot widths and reducing side yard setbacks. According to the applicant, the proposed changes to the Master Plan are reflective of the changing local market environment. Please see their justification statement attached at the end of the report.

Proposed Amended Master Plan



According to the 2005 approved Master Plan, there are 147 lots left to be developed. The proposed amendment includes 21 additional lots for a total of 168 lots. The proposed lots are 60-foot wide with an average lot size of 7,500 square feet (60' x 125'). The overall density from 237 lots on 79.84 acres at 2.97 units/acre to 258 lots on 79.84 acres at 3.23 units/acre is an increase of approximately 0.26 units per acre.

Setbacks

The proposed front and rear yard setbacks are consistent with the approved setbacks of the Lexington Parc Special District; however, the applicant is requesting a reduced side yard setback of five feet to accommodate the building foot print on a 60-foot wide lot. The difference in setbacks is shown below.

Lexington Parc Approved Minimum Yards				Minimum Lot Width
Front	Rear	One Side	Total Both Sides	
25 feet	25 feet	6 feet	14 feet	70 feet
Lexington Parc Proposed Minimum Yards				
25 feet	25 feet	5 feet	10 feet	60 feet

*It should be noted that any part of the structure within five feet of the property line must be fire rated according to the building code.

Access and Traffic Impact Assessment

The applicant intends for the overall community design to utilize the approved road alignment but with amended lot lines to provide a more efficient use of individual residential lots for their housing product.

The Amended Master Plan shows two changes to the road layout approved in 2005 for Lexington Parc. The first cul-de-sac off Pilgrim Lane is proposed to be shortened and will gain one lot; and Freedom Parkway is proposed to connect to the unnamed cul-de-sac to the south. New phases will utilize internal circulation previous approved in the 2005 Master Plan.

The applicant engaged Skipper Consulting, Inc. to evaluate “the expected vehicle trips still to be generated associated with the remaining build out of the residential development and the resulting traffic operational effect on nearby roads. Further, this effort assess the traffic impact of an increased housing density within the development beyond that of the original approved zoning.” This evaluation reviewed existing roadway traffic volumes, expected peak hour traffic generation by the original 237 homes and then adjusted for the proposed additional 21 homes (accounting for the 33 homes already constructed and generating traffic) and analyzed the intersection Level of Service (LOS) from traffic generated after completed construction of 237 residences versus 258 residences.

“In summary, the addition of 21 lots does add more traffic generated due to the residential development upon build out. The added traffic generated results in a LOS “D” for the PM peak left turns out of the development. It is Skipper Consulting Inc.’s professional opinion the effect to the intersection operation from the new development plan is minimal and the level of service is still in the desirable range for peak hour traffic operations.”

The traffic impact memo is attached at the end this report.

Open Space

The approved 2005 Master Plan identified storm water detention as the primary open space. The Amended Master Plan proposes the addition of a park with walking trails and a gazebo, located around the second detention pond. The total amount of open space included in the Amended Master Plan for Lexington Parc includes approximately two acres of passive recreation areas.

The total impervious surfaces of the development including the proposed changes is approximately 28.8 percent; a 1.5 percent increase from the approved 2005 Master Plan. The additional 21 lots is an 8 percent increase to the total lot count.

Impact on Community Facilities and Infrastructure

The Montevillo Sewer and Water Board has completed a review of the proposed amendment to the Special District and provided comments that capacity is available for the proposed 258 units.

The City Engineer has reviewed the proposed amendment to the Master Plan and had no additional comments at this time.

Children living in this development will attend schools in the Montevillo Attendance Zone. A standardized calculation 0.62 children per single family home, averages 160 potential students, at build out, to the Montevillo School System. The proposed addition of 21 lots accounts for approximately 13 additional new students.

Development Process

Pursuant to an approval of the Amended Master Plan, the applicant is required to submit a preliminary plat to be reviewed and approved by the Montevillo Planning and Zoning Commission and the Montevillo City Council prior to construction activity.

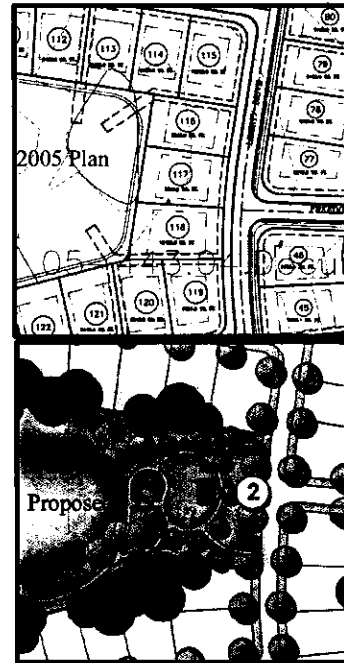
Due to land clearing activities that will be required for the development of the roadways, storm water management and utility installation, a city of Montevillo Land Disturbance Permit will be required.

Any amendments, additions, deletions, alterations or changes to the approved Special District Master Plan shall require the review of such modifications by the Montevillo Planning and Zoning Commission and approval of the Montevillo City Council in a public hearing.

Planning Summary

Special Districts are authorized for the purpose of providing optional methods of land development that encourages imaginative solutions to environmental design problems, including infill development. Areas so established shall be characterized by a unified building and site development program providing for coordinated open space and architectural treatment. The Special District zoning binds the amendment request to a specific development proposal and site development plan.

The original master plan for Lexington Parc was adopted in 2005 prior to the *2012 Zoning Ordinance of the City of Montevillo*. Lexington Parc is a master planned community with design standards accepted by the City of Montevillo as the minimum standards for the development as a



Special District. Master Plan approval recognizes the general street layout and established density patterns for the development.

The proposed Lexington Parc Amended Master Plan addresses approximately 54 acres of the total 79.84 acre development. The applicant proposes to modify the remaining phases of Lexington Parc by:

- increasing the total number of lots to 258; and,
- reducing lot widths; and,
- reducing side setbacks.

The overall density from 237 lots on 79.84 acres at 2.97 units/acre to 258 lots on 79.84 acres at 3.23 units/acre is an increase of approximately 0.26 units per acre.

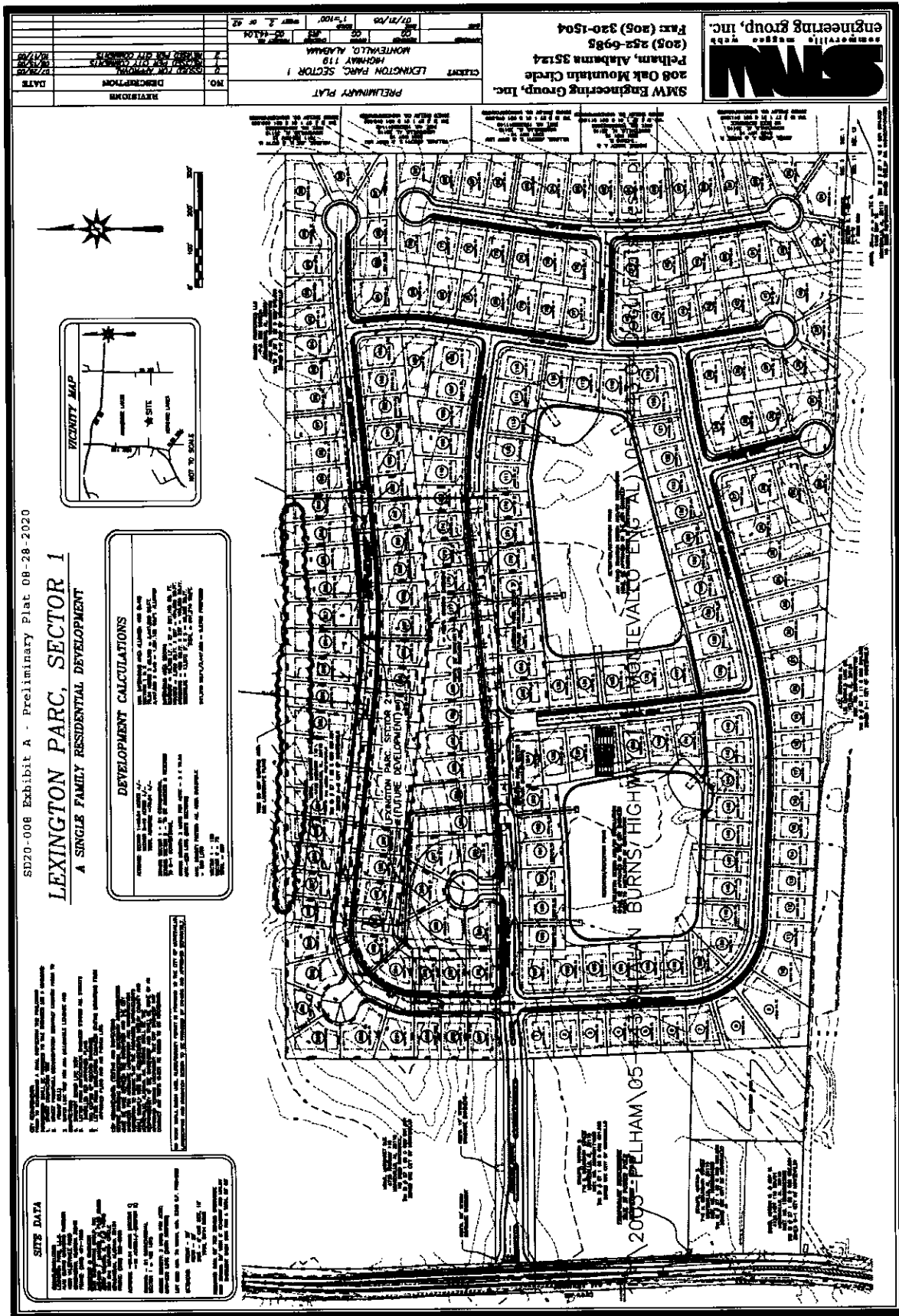
The applicant held two community involvement meetings to elicit and address comments and concerns prior to making application for the amendment. A summary of that meeting is attached at the end of the report.

The proposed amendment to the Lexington Parc Master Plan is consistent with the requirements of Section 18.02 Planned Residential District of the *City of Montevillo Zoning Ordinance*.

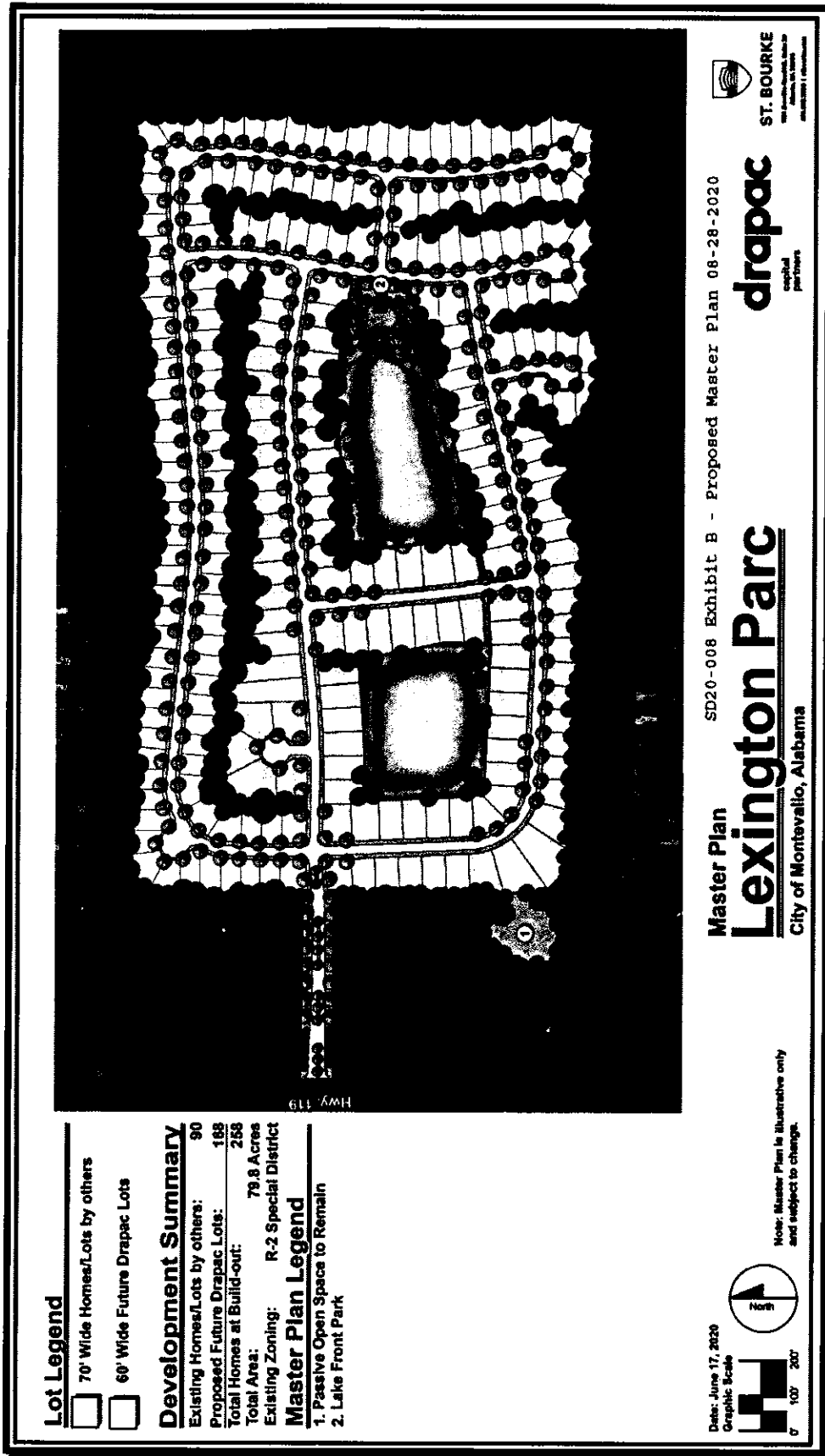
The following information should be submitted pursuant to amendment approval:

- Applicant submitting a fully engineered preliminary plat that meets all requirements of the Zoning Ordinance of the City of Montevillo; and,
- Applicant submitting an application for final plat approval within two (2) years of approval of each preliminary plat. Failure to apply may necessitate reapplication for preliminary plat approval; and,
- Any amendments, additions, deletions, alterations or changes to the approved Special District plan shall require the review and approval of an amendment to the approved Special District plan by the City of Montevillo Planning & Zoning Commission.

2005 Lexington Parc Master Plan



Proposed Amendment to Lexington Parc



Lot Legend
 □ 70' Wide Homes/Lots by others
 □ 60' Wide Future Drapac Lots

Development Summary
 Existing Homes/Lots by others: 90
 Proposed Future Drapac Lots: 188
 Total Homes at Build-out: 258
 Total Area: 79.8 Acres
 Existing Zoning: R-2 Special District

Master Plan Legend
 1. Passive Open Space to Remain
 2. Lake Front Park

Master Plan SD20-008 Exhibit B - Proposed Master Plan 08-28-2020

Lexington Parc
 City of Montevallo, Alabama

drapac
 capital
 partners

ST. BOURKE
 ARCHITECTS & PLANNERS
 1000 17th Avenue, Suite 100
 Montevallo, AL 35115
 205.666.1000

Date: June 17, 2020
 Graphic Scale
 0' 100' 200'

North

Note: Master Plan is illustrative only
 and subject to change.

August 28, 2020

City of Montevallo
541 Main Street
Montevallo, AL 35115

RE: Lexington Parc Subdivision
R2-SD Zoning Modification Request.

Request

St Bourke Asset Management on behalf of their client Drapac Capital Partners is requesting a zoning modification of the existing R2-SD zoning to a new R2-SD zoning by revision of the Master Plan of the Lexington Parc subdivision by increasing the total lot count from 237 lots to 258 lots.

Existing Conditions

The existing Master Plan of Lexington Parc consists of 237 lots within a total development area of 79.84 ac. Since construction occurred prior to the Great Recession, 90 lots have been developed and final platted in phases 1, 2, and 3. The two retention lakes have been constructed along with all ALDOT improvements for AL 119. The remaining 54 acres (Parcel ID number 27 1 02 0 005 033.00 and 27 1 02 0 005 033.00) are in various stages of development. This includes the road network having been rough graded, services stubbed throughout, and some natural, untouched areas remain. The original Master Plan does not include a waterfront park amenity for the community.

The property consists of (79.84 ac x 43,560 ft/ac = 3,447,830 SF.

The estimated maximum impervious area of 27.30 % is calculated by:

Roadway	= 10,785 LF x 27 feet	= 291,195 SF
Houses	= 2,000 SF x 237 houses	= 474,000 SF
Driveways	= 450 SF x 237 houses	= 106,650 SF
Sidewalks	= 13,873 LF x 5 feet	= 69,365 SF
Total		941,210 SF

See Exhibit A - preliminary plat master plan by SMW revised 10/17/2005

Community Design

The proposed modifications to the Master Plan do not adjust the road alignment as originally approved. The changes consist of revising the lot lines to provide a more efficient and appropriate use of the individual residential lots for the housing product offered. The new plan modifications allow for 258 total lots (3.24 units per

acre). Also, a new waterfront park amenity has been added along the eastern side of the larger of the two lakes. The new waterfront park amenity will provide over an acre of land and be open to all the residents of the community. The existing plan allows for only lots along the lake, limiting the benefit to only a small number of residents.

Any modifications to the grading and drainage from the existing Master Plan to this proposed Master Plan would be only as a result of the lot line relocation and design of the waterfront park. Storm inlets and pipes will follow lots lines, and lot pad elevations will be massaged to ensure that new pad elevations allow for adequate storm drainage. This includes increasing the storm sewer easements to 20' from 15' to meet the new site regulations.

The estimated new maximum impervious area of 28.80 % is calculated by:

Roadway	= 10,785 LF x 27 feet	= 291,195 SF
Houses	= 2,000 SF x 258 houses	= 516,000 SF
Driveways	= 450 SF x 258 houses	= 116,100 SF
<u>Sidewalks</u>	<u>= 13,873 LF x 5 feet</u>	<u>= 69,365 SF</u>
Total		992,660 SF

This increased impervious area totals 51,450 SF or 1.50% of the development.

The front yard setback will remain 25' and the rear will remain 25'. For the new plan, we are asking for a side yard setback of 5' versus 8' on the current approved plan. The reason for the side yard setback reduction is to meet market demand for new housing models.

See Exhibit B – Proposed Master Plan

Environmental Features

As stated earlier, the overall design of the existing Master Plan was well thought out and designed to create a positive feel with the lakes being a focal point and maximizing green space. More than 70% of the total development is pervious surfaces, meaning it is made up of grass, water and undisturbed trees. The changes to the Master Plan increase this usable open space, by adding a waterfront park amenity along lake. Modifying the individual lot property lines and drainage infrastructure will not impact the overall positive feel of this development.

Utility Availability

Montevallo Water and Sewer Board provides water and sewer for this development. They currently serve the 90 existing residential lots. See included letter of availability request and approval letter for the proposed 168 lots.

See Exhibit C – Utility Availability

Impact on Transportation Systems

When the original design plans were submitted for approval, ALDOT required a left turn. This turn lane was installed and accepted by ALDOT during the construction of the initial phase of construction.

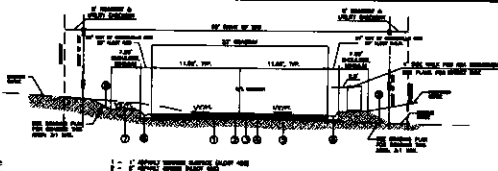
An additional Traffic Impact Letter is included.

See Exhibit D – Transportation Letter

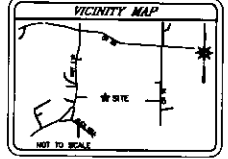
Conclusion

This modification to the Master Plan will create the same overall look and feel as the original Master Plan. The new plan will be more suitable for the incoming home builder while adding less than 8% more homes to overall development. The addition of the waterfront park will create a much-needed green space for the common benefit of the entire neighborhood.

EXHIBIT A
PRELIMINARY PLAT



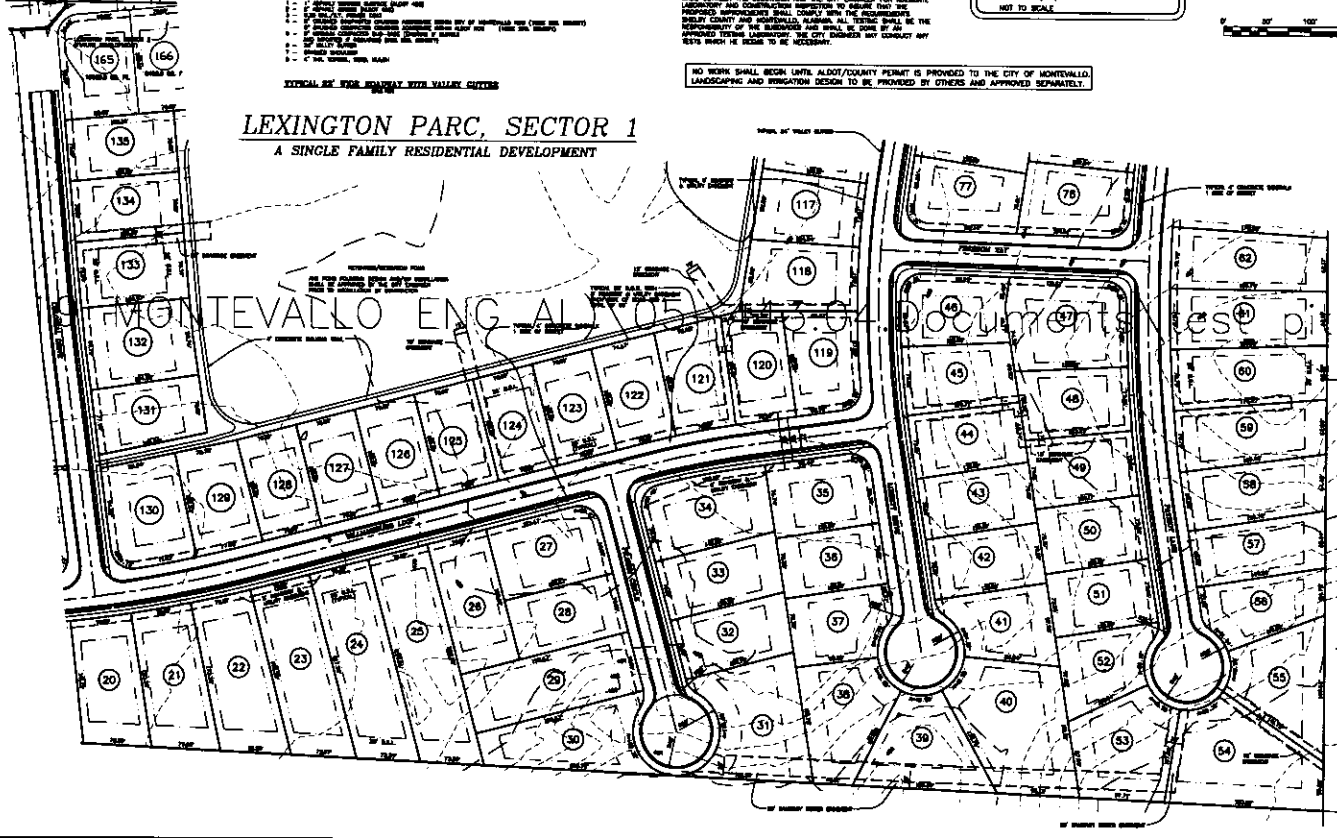
- CITY REQUIREMENTS:**
1. PRIOR TO SUBMITTING A FINAL APPLICATION THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE PROJECTOR (OR A BUREAU):
 2. STREET CONSTRUCTION COST
 3. STREET PROFILES/DOCUMENTATION (CONTRACT NUMBER PRIOR TO PROCEED)
 4. WATER LINE TEST PER A.S.D. (ALLOWABLE LEAKAGE AND DISCHARGE)
 5. SANITARY SEWER LINE TEST
 6. LETTER FROM GEOTECHNICAL ENGINEER DATING ALL STREETS
 7. APPROVED PROPOSED PLANS
 8. TWO COPIES OF SECOND OPINION
 9. LETTER FROM DEVELOPER CONCERN EXISTING UTILITIES FROM APPROVED PLANS AND THE PLANCH LIST.
- CITY REQUIREMENTS (TESTING AND INSPECTION):**
- BEFORE STARTING CONSTRUCTION, NECESSARY ARRANGEMENTS MUST BE MADE TO CHECK THE SERVICES AND THE CITY ENGINEER FOR EXISTING UTILITIES AND CONSTRUCTION INSPECTION TO ASSURE THAT THE PROPOSED APPROXIMATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY AND THE MONTREALLO ENGINEER. ALL THE REQUIREMENTS OF THE BUREAU AND SHALL BE DONE BY ALL APPROVED TYPING LABORATORY. THE CITY ENGINEER WILL CONDUCT ANY TESTS WHICH HE DEEMS TO BE NECESSARY.



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- 7. 12" FIBER OPTIC MAIN 15' DEPTH
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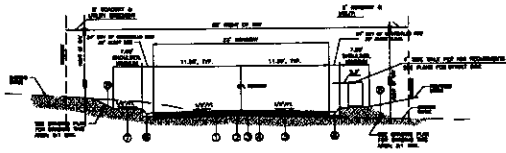
NO WORK SHALL BEGIN UNTIL ALOT/COUNTY PERMIT IS PROVIDED TO THE CITY OF MONTEVALLO. LANDSCAPING AND IRRIGATION DESIGN TO BE PROVIDED BY OTHERS AND APPROVED SEPARATELY.

LEXINGTON PARC, SECTOR 1
A SINGLE FAMILY RESIDENTIAL DEVELOPMENT



REVISIONS	DATE	DESCRIPTION
NO.		
1	07/27/05	PRELIMINARY PLAT
2	07/27/05	LEXINGTON PARC, SECTOR 1
3	07/27/05	MONTEVALLO, ALABAMA
4	07/27/05	CLIENT
5	07/27/05	SMW ENGINEERING GROUP, INC.
6	07/27/05	208 OAK MOUNTAIN CIRCLE
7	07/27/05	PEDHAM, ALABAMA 35124
8	07/27/05	(205) 252-6985
9	07/27/05	FAX: (205) 320-1504





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TYPICAL BY THIS STREET WITH VALLEY GUTTER

- CITY REQUIREMENTS:**
1. PRIOR TO SCHEDULING A FINAL INSPECTION THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE CITY ENGINEER (OR A REPRESENTATIVE):
 1. STREET CONSTRUCTION TEST
 2. STREET PROVISIONAL RECONSTRUCTION (CONTACT ENGINEER PRIOR TO "PROOF" ROLL)
 3. WATER LINE TEST FOR AREA (ALLOWABLE LEAKAGE AND INFILTRATION)
 4. SANITARY SEWER LINE TEST
 5. LETTER FROM PROFESSIONAL ENGINEER VERIFYING ALL STREETS
 6. SCHEDULED TEST RESULTS
 7. TWO COPIES OF RECORD DRAWINGS
 8. LETTER FROM DEVELOPER CONFIRMING STAKING COORDINATES FROM APPROVED PLANS AND THE PUNCH LIST.

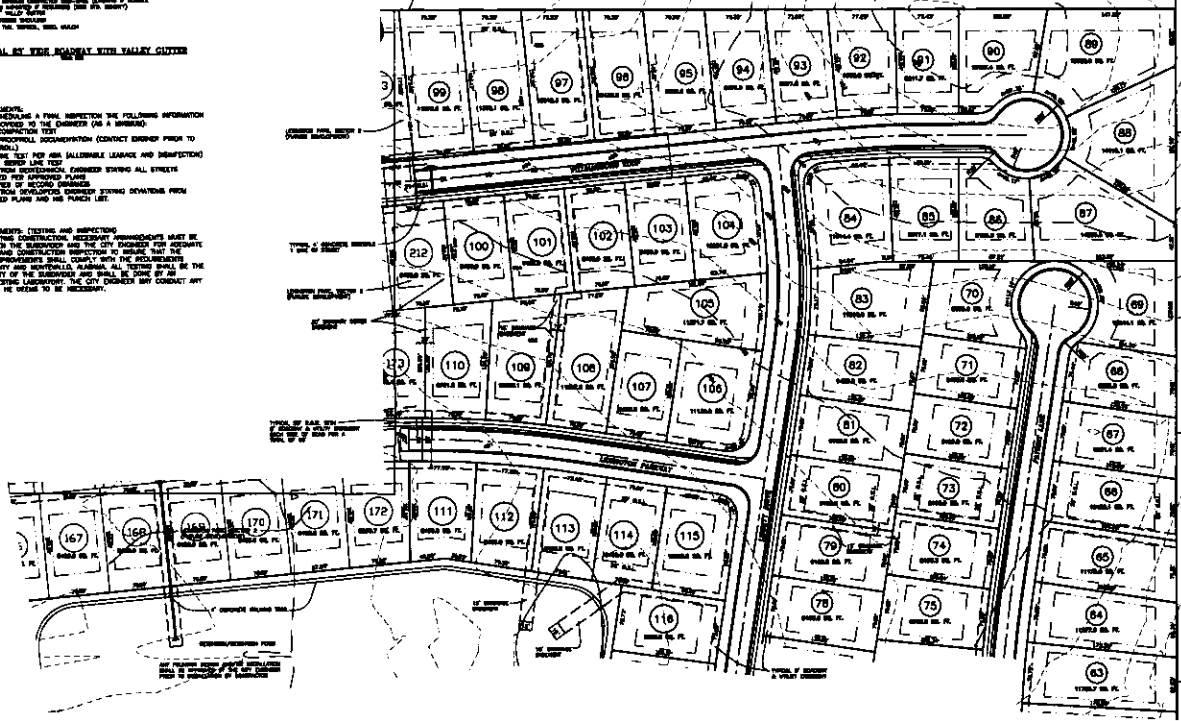
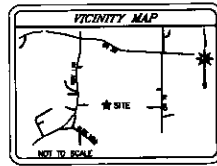
CITY REQUIREMENTS: (TESTING AND INSPECTION)

BEFORE STARTING CONSTRUCTION, NECESSARY PERMITS MUST BE OBTAINED FROM THE SUPERVISOR AND THE CITY ENGINEER FOR ADEQUATE LABORATORY AND CONSTRUCTION INSPECTION TO VERIFY THAT THE PROPOSED IMPROVEMENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY AND MONTGOMERY, ALABAMA. ALL TESTING SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE THE RESPONSIBILITY OF THE LABORATORY. THE CITY ENGINEER MAY CONTACT ANY TESTS WHICH HE DEEMS TO BE NECESSARY.

LEXINGTON PARC, SECTOR 1

A SINGLE FAMILY RESIDENTIAL DEVELOPMENT

NO WORK SHALL BEGIN UNTIL ADJUT/COUNTY PERMIT IS PROVIDED TO THE CITY OF MONTGOMERY. LANDSCAPING AND IRRIGATION DESIGN TO BE PROVIDED BY OTHERS AND APPROVED SEPARATELY.



REVISIONS	DATE	
NO.	DESCRIPTION	
1	PRELIMINARY PLAN	02/28/06
2	REVISED PER APPROVAL	03/07/06
3	REVISED PER APPROVAL	03/07/06
4	REVISED PER APPROVAL	03/07/06
PRELIMINARY PLAN		
LEXINGTON PARC, SECTOR 1		
CLIENT		
SMW Engineering Group, Inc.		
208 Oak Mountain Circle		
Pelham, Alabama 35124		
(205) 252-6985		
Fax: (205) 320-1504		
SMW		
engineering group, inc.		

EXHIBIT B
PROPOSED MASTER PLAN

Lot Legend

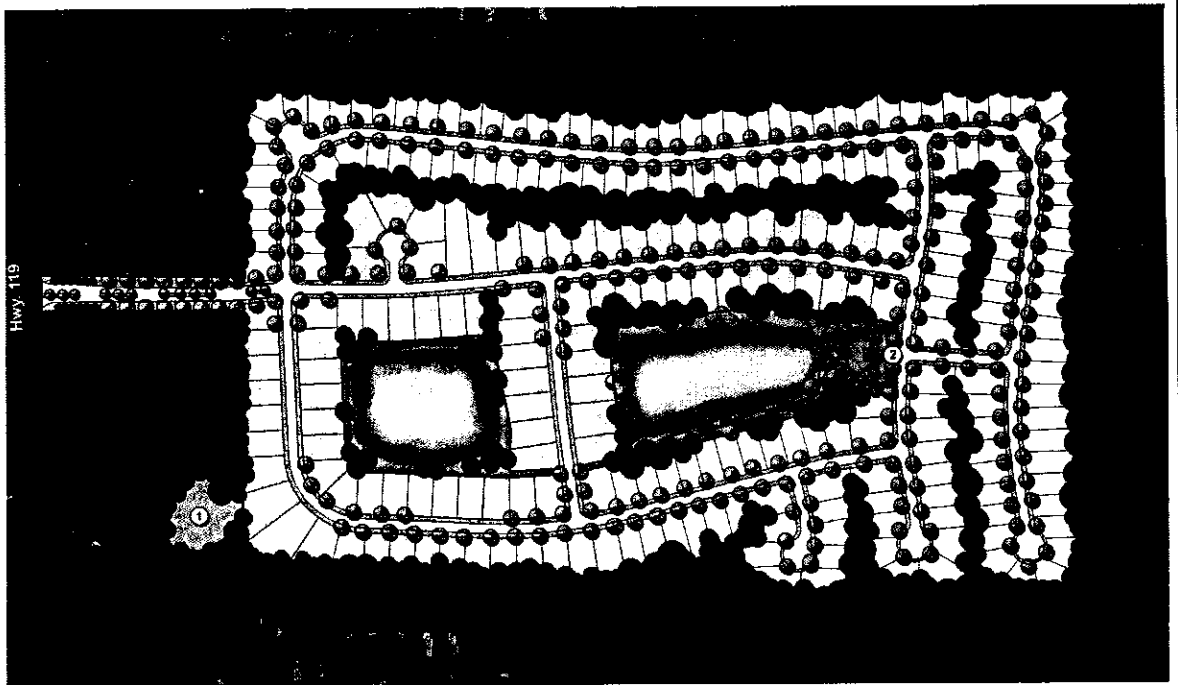
- 70' Wide Homes/Lots by others
- 60' Wide Future Drapac Lots

Development Summary

Existing Homes/Lots by others:	90
Proposed Future Drapac Lots:	168
Total Homes at Build-out:	258
Total Area:	79.8 Acres
Existing Zoning:	R-2 Special District

Master Plan Legend

1. Passive Open Space to Remain
2. Lake Front Park



Date: June 17, 2020
Graphic Scale



Note: Master Plan is illustrative only and subject to change.

SD20-008 Exhibit B - Proposed Master Plan 08-28-2020

Master Plan
Lexington Parc
City of Montevallo, Alabama

drapac
capital partners



ST. BOURKE
1000 South Blvd, Suite 200
Montevallo, AL 35115
205.382.2000 | info@stbourke.com

EXHIBIT C
UTILITY AVAILABILITY



August 25, 2020

Mr. Michael Harmon
Montevallo Water and Sewer Board,
613 Valley Street
Montevallo, AL 35115

**Subject: Lexington Parc
Water and Sewer Availability**

Dear Mr. Harmon:

The existing master plan for Lexington Parc Subdivision (approved in 2005/2006) was for 237 residential lots. This development is located off of AL 119 just south of Shelby County 22 between Emerald Lakes and Amersee Lakes Subdivisions.

The developer is requesting the current R2-SD zoning be rezoned to a new R2-SD zoning with a revised master plan for 258 lots. Currently 90 lots have been recorded for final plat. These water and sewer services will not be modified in any way.

As required by the City rezoning application, we are requesting a water and sewer availability letter for the remaining 168 single-family residential lots within Lexington Parc Subdivision Master Plan.

Thank you for your assistance.

If you have any questions please feel free to call us at 205-733-9696.

Sincerely,
InSite Engineering, LLC

A handwritten signature in black ink that reads "Ben Watson". The signature is fluid and cursive, with a long horizontal stroke at the end.

Ben Watson



CITY OF MONTEVALLO
WATER WORKS AND SEWER BOARD

ROGER WHEELER - Chairman
MICHAEL HARMON - Manager

August 25, 2020

Shelby County Development Services
1123 County Services Drive
Pelham, AL 35124-6128

Re: Lexington Parc 4

This letter is to certify that the Montevallo Water Works and Sewer Board currently has the available capacity to provide water and sewer service to approximately 258 lots in the proposed rezoning of Lexington Parc 4 residential subdivision off of Highway 119 in Montevallo.

Provision of water and sewer service is contingent on our approval of construction plans prepared in accordance with our standard specifications and is not guaranteed until payment of all required fees have been received.

Should you have any further questions please call us at 205-665-9045.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Harmon", with a long horizontal flourish extending to the right.

Michael Harmon, Manager

Prepared By: Alicia Reedy

EXHIBIT D
TRANSPORATION LETTER

Memorandum

To: Dan Mason
St. Bourke Development

From: Scott Cothron, P.E.

Date: September 6, 2019

Subject: Full Build Out Land Use Traffic Impact
Lexington Parc - Montevallo, AL

The purpose of this memorandum is to determine the expected vehicle trips still to be generated associated with the remaining build out of the Lexington Parc -Montevallo residential development and the resulting traffic operational effect to nearby roads. Further, this effort assesses the traffic impact of an increased housing density within the development beyond that of the originally approved zoning.

The Lexington Parc – Montevallo development’s planning, engineering, and construction effort began in the mid 2000’s with portions of its roadway network and a number of buildable lots constructed at that time as shown in **Figure 1**. The originally planned number of lots totaled 237 to be built in seven (7) construction phases. Progress then stalled with the housing market downturn of the late 2000’s. To date, only the roadway network servicing housing Phases 1 and 2 is available with approximately 33 occupied residences in place with 2 remaining open lots. Renewed recent progress on the development has modified the original plan from the originally planned total full build out of 237 lots for single family residential homes to a proposed full build out of 258 residences.

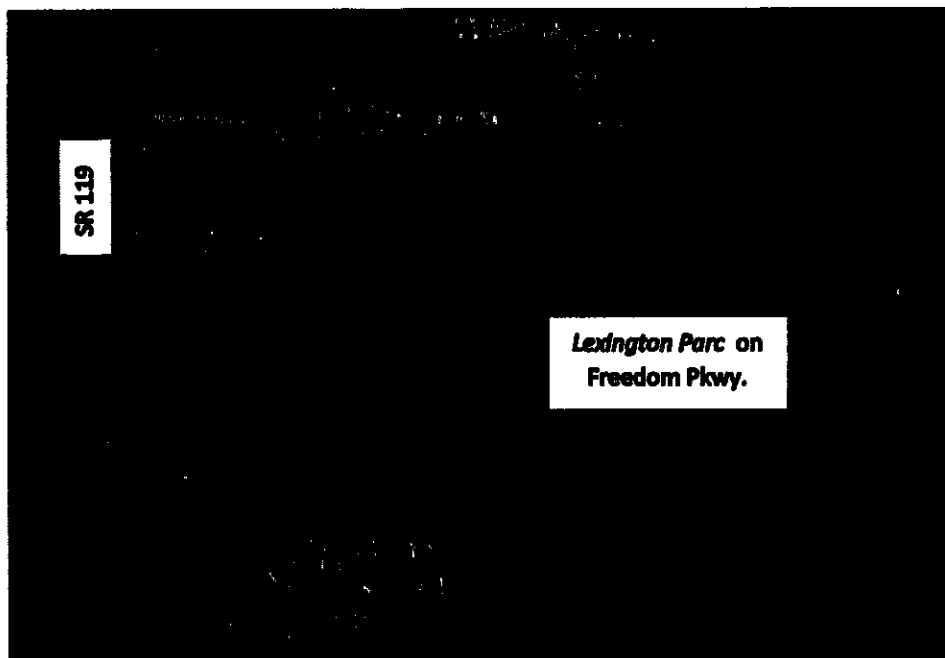


Figure 1. Residential Development Site Location Map

Existing Roadway Traffic Volumes

Hourly traffic data was collected along SR 119 in the vicinity of Freedom Pkwy. (Main Roadway into Lexington Parc) on a typical weekday in the final week of August 2019. The data indicates an approximately 50 / 50 directional split as follows:

SR 119 (At Freedom Pkwy.) Existing Peak Hour Traffic Volumes - August 2019:

	Northbound	Southbound
AM Peak Hour (7AM-8AM)	424 Vehicles	426 Vehicles
PM Peak Hour (5PM-6PM)	433 Vehicles	453 Vehicles

Trip Generation

The following table outlines the expected peak hour traffic generated by the originally planned 237 homes according to ITE's *Trip Generation Manual*. It also shows the adjustments to traffic projections to apply to determine the added traffic for another 21 homes and account for the 33 homes already constructed and generating traffic on the roadway system. This information shows both the totaled remaining traffic still to be generated from the development (**Table 1**) and is reference information to compare the expected LOS at the main intersection with 237 residences as originally planned versus the expected LOS when adjusting the housing density by an additional 21 lots for a new total of 258 residences (**Table 2**).

Table 1. Trip Generation for Remaining Development Build Out

Land Use	ITE Code		AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Single Family Detached Housing	210	237 Lots/Residences (2005 Approved Zoning)	44	132	176	145	85	230
		21 Lots/Residences (2019 Plan Added Lots/Residences)	6	18	24	16	10	26
		33 Residences Built and Occupied (Accounting for 33 homes occupied and generating traffic)	-9	-26	-35	-26	-15	-41
TOTAL FULL BUILD PEAK HOUR AM/PM TRAFFIC GENERATION REMAINING			41	124	165	135	80	215

Intersection Level of Service Assessment

Table 2 shows the intersection LOS from traffic generated after completed construction of 237 residences versus 258 residences. The analysis indicates a drop in LOS for the left turns out of the development (from Freedom Dr.) for the PM peak hour with the added 21 lots associated with the latest (2019) residential development plan. A drop of level of service from LOS "C" to LOS "D" is considered acceptable. Typical traffic engineering practice states a LOS "D" or better is desirable for peak hour traffic operations and indicates transportation infrastructure is considered sufficient.

Table 2. Intersection LOS Comparison (2005 Zoning versus 2019 Planned Number of Residences)

Intersection	Approach/Movement	Level of Service (AM)	Level of Service (PM)	Level of Service (AM)	Level of Service (PM)
		2005 Zoning (237 Residences)		2019 Plan (258 Residences)	
SR 119 at Freedom Parkway	SR119 - Northbound (SHARED THRU / RIGHT)	A	A	A	A
	SR119 - Southbound (LEFT / THRU)	A / A	A / A	A / A	A / A
	Freedom Pkwy. – Westbound (LEFT / RIGHT)	C / A	C / B	C / B	D / B

In summary, the addition of 21 lots does add more traffic generated due to the residential development upon full build out. The added traffic generated results in a LOS "D" for the PM peak left turns out of the development. It is our professional opinion the effect to intersection operations from the new development plan is minimal and the level of service is still in the desirable range for peak hour traffic operations.

KRISTINE GODDARD

From: Katie Flaim <katie@stbourne.com>
Sent: Tuesday, October 6, 2020 11:39 AM
To: KRISTINE GODDARD
Cc: Ben Watson; Max Cookes
Subject: Lexington Parc - P&Z Package Submittal

"EXTERNAL"

Hi Kristen,

In preparation of our upcoming Planning & Zoning meeting I wanted to provide you an update on Lexington Parc. We held our second information evening with the existing (and new residents) at Lexington Parc last Wednesday. The purpose of the meeting was to walk them through the zoning modification we are seeking, addressing questions they may have relating to the new masterplan, and also listen to any issues and concerns that they have within the community, and with the builder. We are excited to say we received unanimous support from all the homeowners in attendance for the zoning modification. The residents were most excited about the new amenity area fronting the pond, the improvement works we have already done at the entrance of the project, and the addition of new homes to help to offset and reduce the HOA community costs. See within the link below the signature page illustrating the homeowners support.

In addition, there was an overwhelming view that the new homes being built by LGI in Phases 1-3 were of a very high quality, and solid price-point. They believe the builder has also acted very professionally whilst building in a neighborhood with existing homeowners. The renderings within the link showcase what they are currently building in Phases 1-3, and it is going to become a minimum standard of what we will be expecting on the final phases of Lexington Parc.

[Lexington Parc P&Z Documents](#)

Please let us know if you have any questions. Otherwise, we look forward to seeing you on October 15th!

KATIE FLAIM | DIRECTOR – PORTFOLIO MANAGEMENT



M +1 404 368 9801
A 1123 Zonolite Road NE,
Suite 30, Atlanta, GA 30306
W stbourne.com

REPORT TO THE MONTEVALLO CITY COUNCIL

Department of Development Services

November 30, 2020

SP20-009 XCaret Grill- Modified Site Plan

Note: The Montevallo Planning & Zoning Commission reviewed the plans on October 15, 2020 and recommended approval of the site plan to the City Council pending review and approval by the DRC for landscaping improvements and satisfactorily addressing the remaining comments from the City Engineer and Water and Sewer Board.

This is a request from Saray Jimenez, property owner for approval of a modified site plan to improve parking and landscaping for a restaurant use. The subject property is located at 1032 Main Street, formally known as Eclipse Coffee and Books; Parcel Identification 27-5-21-3-306-013.000.

A revised site plan was submitted for review on October 20, 2020. The revised plans addressed all outstanding comments from the City Engineer and the Water and Sewer Board. The revised plans also included replacing an existing chain link fence, at the rear property line and abutting a residential lot, with a six-foot wooden fence. The DRC reviewed the proposed additional screening plan on November 3, 2020 and approved the addition of the six-foot wooden fence for additional screening. No additional plantings were recommended by the DRC. The Arbor and Beautification Board reviewed and approved the proposed landscaping plans dated September 16, 2020. The addition of the wooden fence does not alter the previously reviewed and approved landscaping.

SUMMARY

The revised site plan, dated October 20, 2020, meets the requirements of the *City of Montevallo Zoning Regulations*.

The following items are attached:

- Revised Site Plan, dated October 20, 2020
- October 15, 2020 staff report to the Planning and Zoning Commission with supporting documents.

**REPORT TO THE CITY OF MONTEVALLO
PLANNING & ZONING COMMISSION**

Department of Development Services

October 15, 2020

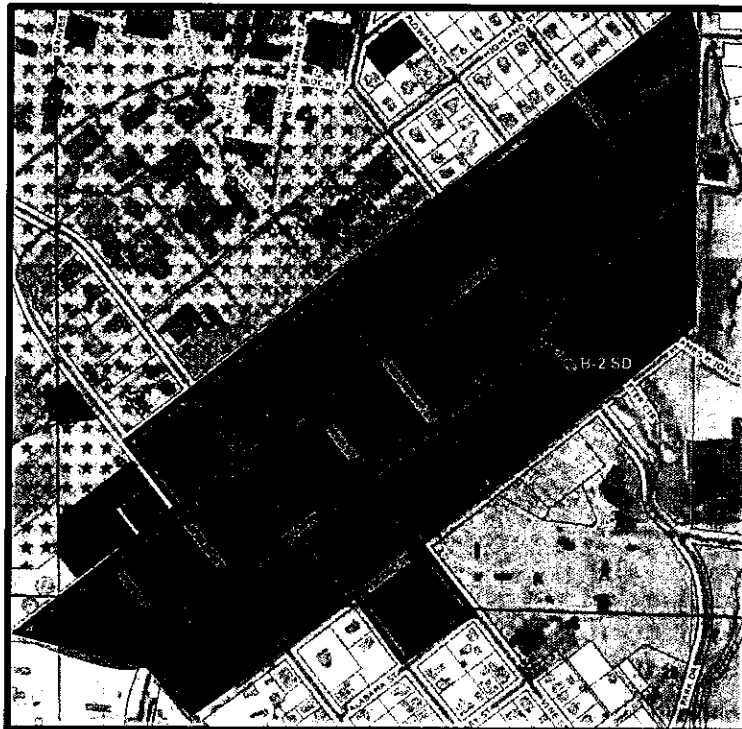
SP20-009

Xcaret Grill- Site Development Plan

This is a request from Saray Jimenez, property owner for approval of a modified site plan to improve parking and landscaping for a restaurant use. The subject property is located at 1032 Main St, formally known as Eclipse Coffee and Books; Parcel Identification 27-5-21-3-306-013.000.

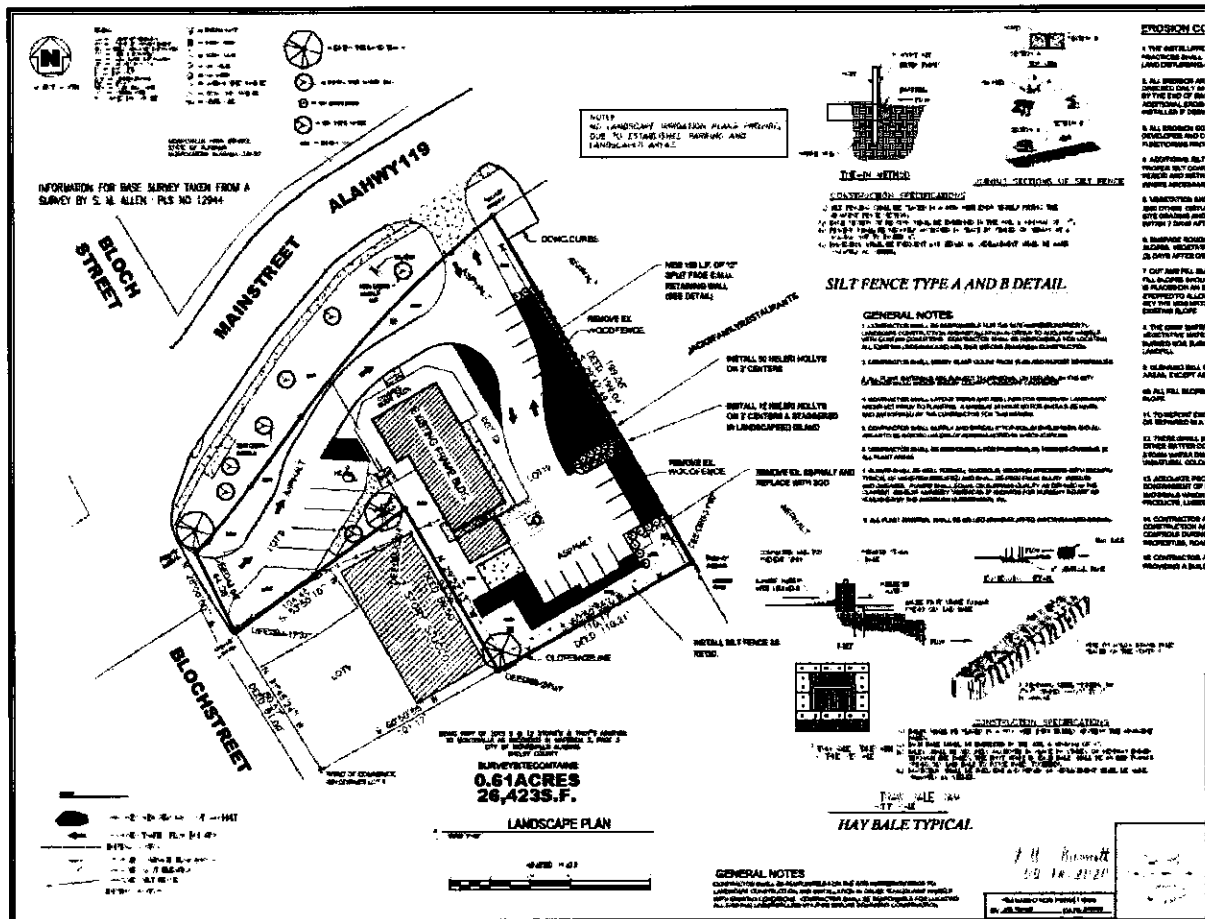
DISCUSSION

The subject property is located at 1032 Main Street (State Route 119); previously the Eclipse Coffee and Books location. The property contains approximately 0.61 acres and a single commercial structure. The subject property is zoned B-2 SD, General Business Special District according to the *Zoning Ordinance of the City of Montevallo* and is located within the Urban Core (shown in blue).



Proposed Site Development

The applicant proposes to convert the coffee shop and book store into a full service restaurant; upgrade the existing parking lot and landscaping to meet the intent of the zoning regulations. The previous use had minimally defined parking and limited landscaping on site. The applicant has completed minor exterior repairs and painting to the main building and has submitted a building permit for the interior remodel.



Access

The applicant plans to utilize the existing access for the new business.

Parking

The previous business did not maintain striped parking spaces on site. Generally, the site could park approximately 25 vehicles as determined by aerial photography review. The existing building is approximately 2,698 square feet. Restaurants require a parking ratio of one space per 100 square feet of floor area. A total of 27 parking spaces are required per the regulations and 27 parking spaces are provided on the site plan, including two ADA handicap spaces with one van accessible space. The site data table on the plan set incorrectly identifies 26 parking stalls and incorrectly identifies the parking calculation. This was also identified in the City Engineer’s comments and must be corrected prior to site plan certification.

The City Engineer has reviewed the drawings and finds the drawings to be substantially complete; however, minor comments from the initial review remain unaddressed. They include:

1. The site Data Table on the cover sheet still does not outline all applicable impervious surfaces as to match Sheet C-2.
2. Reference is made to “Retail” parking and its associated floor space requirements; the proposed land use is “Restaurant”. Please update the parking standard with the correct use and required off street parking equation as outlined in the city of Montevillo Zoning Ordinance. Prior to final certification of the site development plan the following items must be added to the plan set.

Landscaping

The subject property has some existing landscaping and container plantings on site. With the proposed change of use and upgrade to the parking lot, the applicant is now required to bring the site into compliance with the current zoning regulations, to the best of their ability. The Arbor and Beautification Board (ABB) has reviewed the required buffers, perimeter landscaping, parking island landscaping and foundation plantings and have found the plans meet the intent of the landscape regulations of Article 23. The ABB did express concern regarding the wooden fence. They requested that the fence be removed and replaced with the plants specified in the landscape plan.

Utilities

Montevillo Water Works and Sewer Board has completed a review of the plans (dated 10/5/20) and have provided a conditional approval based on the addition of the following notes to the site plan set:

- a) Please provide benchmark per Montevillo Water and Sewer Board Standard Sanitary Sewer Specifications and Potable Water Specification.
- b) Provide documentation from Mechanical Engineer that existing water service is sufficient for water service and peak flow demand.
- c) Grease trap shall be sized in accordance with the Plumbing and Drainage Institute Standard PDI-G101 as outlined within the Montevillo Water and Sewer Board Standard Sanitary Sewer Specifications.
- d) Montevillo Water and Sewer Board representative shall be present when any work is performed on the water system and/or the sewer system.
- e) All work on the water system and the sewer system must be performed by a licensed contractor.

Summary

The proposed development is consistent with the *Zoning Ordinance of the City of Montevillo*. *Approval* of the site plan should be subject to:

- The applicant submitting a revised site plan that addresses all remaining minor corrections;
- The applicant completing all required bonding;
- Compliance with the regulations, policies and guidelines of the City of Montevillo;
- Approval by the Montevillo City Council.



VICINITY MAP (N.T.S.)

LEGEND

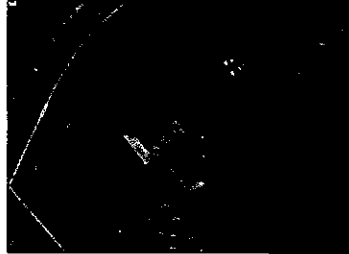
---	PROPERTY LINE
---	EXISTING 6" SANITARY SEWER LINE
---	EXISTING 6" WATER MAIN
---	EXISTING STORM SEWER
---	EXISTING 6" GAS MAIN
---	EXISTING POWER POLE & O.H. ELECTRIC LINES
---	EXISTING DAY WALK & ARCHWAY
---	EXISTING CONTOUR & ELEVATION
---	PROPOSED FINISH GRADE ELEVATION & ELEVATION
---	PROPOSED 6" SANITARY SEWER LINE
---	PROPOSED 1 1/2" WATER MAIN
---	PROPOSED 6" GAS LINE
---	PROPOSED UNDERGROUND ELECTRIC SERVICE
---	PROPOSED 6" CONDUIT FOR TELEPHONE SERVICE
---	PROPOSED STORM DRAIN LINE
---	PROPOSED DIRECTION OF DRAINAGE FLOW ARROW
---	PROP. FINISHED GRADE ELEV.
---	PROPOSED 400 MESH METAL MESH SAND LUMP

XCART GRILL MEXICAN RESTAURANT

PROPOSED USE: RESTAURANT
 PART OF LOTS 9 & 12, STORM'S & TROY'S ADDITION
 TO MONTEVALLO AS RECORDED IN MAP BOOK 3, PAGE 3
 SHELBY COUNTY
 OWNERS:
 XCART GRILL - 808-230-9184
 ZONING:
 ZONED B-2 GENERAL BUSINESS
 SITE ADDRESS:
 1028 MAIN STREET, MONTEVALLO, AL 38119

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MONTEVALLO'S ZONING ORDINANCES AND THE CITY OF MONTEVALLO'S SUBDIVISION, PLANNING, AND CONSTRUCTION DEPARTMENT'S STANDARDS AND SPECIFICATIONS.
2. ALL UTILITIES SHALL BE DEPTH AND LOCATION AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
3. ALL UTILITIES SHALL BE DEPTH AND LOCATION AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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SITE MAP (N.T.S.)

Site Data Table

Total Site Area	Gross Site Area: 0.81 acres, 26,426 Sq. ft., 100% of Site
	Net Site Area: 0.06 acres, 2,260 Sq. ft., 10.4 % of Site
Impervious Surface Coverage	EXISTING / PROPOSED
Total Impervious Area	17,100 / 17,896 Sq. ft. / 64.7 / 67.7 % of Site
Building Coverage	2,898 / 2,898 Sq. ft. / 10.2 / 10.2 % of Site
Paved Impervious Area	11,852 / 11,852 Sq. ft. / 44.8 / 44.8 % of Site
Impervious Surface Area (and impervious surface area)	17,100 / 17,896 Sq. ft.
Gross Floor Area and Building Height by Building	HEIGHT (measured from finished floor level)
Building 1	2,898 Sq. ft. 30 ft.
Building 2	N/A Sq. ft. ft.
Building 3	N/A Sq. ft. ft.
Building 4	N/A Sq. ft. ft.
Floor Area by Use	
RESTAURANT, etc.	2,898 Sq. ft.
Floor Area Ratio (building coverage/total site area)	2,898 / 26,426
Parking Required	RESTAURANT
Retail (1 space for every 750 sq. ft. of floor area)	1 SPACE / 3 SEATS = 24 SPACES
Handicap Accessible	24 STANDARD SPACES
Total Required	24 SPACES
Total Parking Spaces Provided	24 SPACES
Additional Site Data	
Subject Property Parcel ID Number(s)	27-5-21-3-306-013-000
Subject Property Zoning	B-2 GENERAL BUSINESS DISTRICT
Number of Existing Buildings	1
Number of Proposed Buildings	1
Number of Phases	N/A

- C0 TITLE SHEET
- C1 COVER SHEET
- C2 SITE LAYOUT PLAN
- C3 GRADING AND EROSION CONTROL PLAN
- C4 LANDSCAPING & IRRIGATION PLAN
- C5 SITE UTILITY PLAN

PROPERTY DESCRIPTION

Parts of Lots 9 and 12 of Storm and Troy Addition to Montevallo, as recorded in Map Book 3, Page 3, in the Probate Office of Shelby County, Alabama, more particularly described as follows: Commence at the Southeast corner of said Lot 9; thence run Northwesterly along the Westerly line of same for 81.00 feet to the point of beginning; thence 80 degrees 42 minutes 23 seconds right and run Northwesterly for 101.45 feet; thence 84 degrees 17 minutes 36 seconds right and run Southwesterly for 86.00 feet to the Southeast corner of said Lot 9; thence 80 degrees 28 minutes 00 seconds left and run Northwesterly for 110.21 feet to the Southeast corner of said Lot 12; thence 80 degrees 31 minutes 00 seconds left and run Northwesterly along the Eastern line of said Lot 12 for 189.04 feet to a point on the Southerly right of way line of Alabama Highway 119 as shown on Platteau Survey, dated November, 1945; thence run Westerly along said right of way line of 224.17 feet to the Westerly line of said Lot 9; thence Southeast along said lot line for 42.84 feet to the point of beginning.

Subject to: All easements, restrictions and rights of way of record.

PRELIMINARY NOT FOR CONSTRUCTION

ISSUED FOR APPROVAL

DATE: 09/14/2020

GRADEMARK

TRADEMARK ENGINEERING SERVICES, INC.
 2500 WEST STREET SUITE 200
 MONTEVALLO, AL 38119

SITE PLAN
 RENOVATIONS FOR PARKING LOT EXPANSION
 XCART GRILL, 1028 MAIN STREET, MONTEVALLO, AL 38119

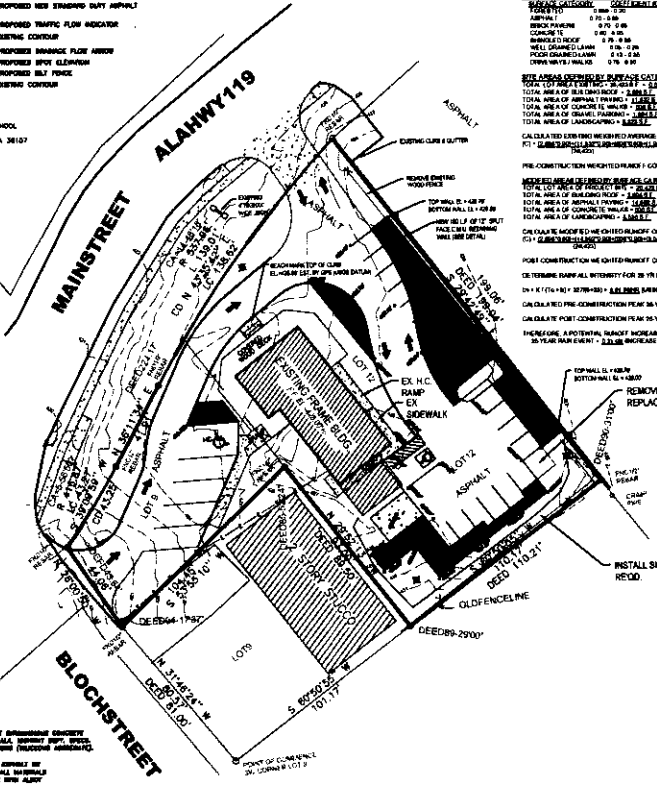
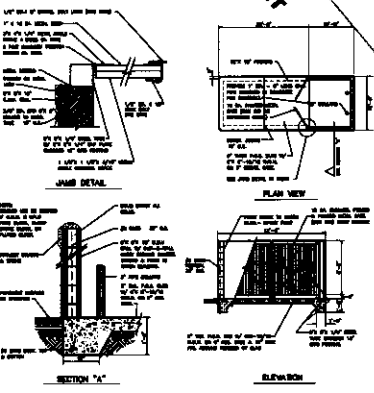
RELEASED FOR PERMITTING
 BY J.E. BROWN, DATE 09/14/2020

FILE NAME: SITE PLAN.DWG

- LEGEND**
- PROPOSED NEW STANDING DUTY ASPHALT
 - PROPOSED TRAFFIC FLOW INDICATOR
 - EXISTING CURBLINE
 - PROPOSED DRAINAGE FLOW ARROW
 - PROPOSED SLOPE CLEARANCE
 - PROPOSED SALT FENCE
 - EXISTING CURBLINE

INFORMATION FOR BASE SURVEY TAKEN FROM A SURVEY BY S. M. ALLEN PLS NO 12944

MONTEVALLO HIGH SCHOOL
STATE OF ALABAMA
MONTGOMERY ALABAMA 36107



STORMWATER RUNOFF CALCULATIONS - RATIONAL METHOD

SOFTENING RESTRICTION

TYPICAL RUNOFF COEFFICIENTS

ROOF	0.80
ASPHALT	0.70
GRAVEL	0.50
CONCRETE	0.60
PAVED DRIVE	0.60
PAVED DRIVEWAY	0.60
PAVED DRIVEWAY	0.60
PAVED DRIVEWAY	0.60

AREA WEIGHTED SURFACE COEFFICIENT

TOTAL AREA OF IMPERVIOUS SURFACES - 1.2311
TOTAL AREA OF PERVIOUS SURFACES - 1.2311
TOTAL AREA OF CONCRETE SURFACES - 1.2311
TOTAL AREA OF GRAVEL SURFACES - 1.2311
TOTAL AREA OF LANDSCAPING - 1.2311

PERMEABILITY COEFFICIENT (K)

PERMEABILITY COEFFICIENT (K) = 0.0001

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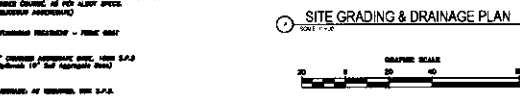
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PERMEABILITY COEFFICIENT (K) = 0.0001

GENERAL NOTES

1. ALL EXISTING AND PROPOSED RIGHTS OF WAY AND EASEMENTS ARE SHOWN ON THE CONTRACT DRAWINGS. STRUCTURES BOUND BY WALLS, BENCHES, BENCHES, ETC. ON PLANS AND WALLS THEREON SHALL BE PLACED BY THE RIGHT OF WAY OR EASEMENT WITHOUT FURTHER APPROVAL.
2. OTHER THAN SHOWN ON THE APPROVED SITE PLAN, ALL GRADING OPERATIONS INVOLVING CUTTING OR FILLING SHALL ONLY BE ALLOWED AS SHOWN WITHIN ALL RIGHTS OF WAY AND EASEMENTS.
3. THE OWNER OR DEVELOPER SHALL PROVIDE THE CONTRACTOR WITH EXISTING RECORDS FOR CONSTRUCTION TO BE USED FOR GRADING AND CONSTRUCTION. IF RECORDS TO BE PROVIDED BY THE CITY, COUNTY OR STATE DEPT. OF TRANSPORTATION ARE BASED ON NAVY TIME AND HAVE BEEN ESTABLISHED BY GPS OR BENCHMARKS.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MONTEVALLO STANDARDS AND/OR BUREAU COUNTY SPECIFICATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PERMITS AS MAY BE REQUIRED.
6. CONTRACTOR WILL BE RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF EROSION CONTROL MEASURES DURING CONSTRUCTION TO PREVENT THIS PROJECT FROM CAUSING EROSION OR OTHER PUBLIC HAZARD. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED OR MODIFIED AS NECESSARY. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED OR MODIFIED AS NECESSARY.
7. CONTRACTOR SHALL PROVIDE ALL SAFETY PRECAUTIONS FOR VARIOUS TYPES OF CONSTRUCTION TO BE CONDUCTED ON THIS PROJECT. THE PROJECT ENGINEER WILL NOT BE ON THE JOB TO SUPERVISE ANY WORK, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SAFETY PRECAUTIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, COORDINATING WITH ALL AGENCIES AND AGENCIES, AND OBTAINING ALL NECESSARY PERMITS, COORDINATING WITH ALL AGENCIES AND AGENCIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A BUILDING SITE FREE OF EROSION PROBLEMS.
10. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO THE CONSTRUCTION SITE.
11. ALL LANDSCAPING SHALL MEET ALL REQUIREMENTS OF 19-1.



- NOTES**
1. ALL SPOT ELEVATIONS (1/4") AND DIMENSIONS SHOWN ON THIS PLAN ARE TO BE USED FOR CONSTRUCTION.
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PRELIMINARY NOT FOR CONSTRUCTION

ISSUED FOR APPROVAL

DATE: 09/14/2020

PROJECT: SITE GRADING & DRAINAGE PLAN RENOVATIONS FOR PARKING LOT EXPANSION

LOCATION: 1022 MAIN STREET, MONTEVALLO, AL 36115

SCALE: 1" = 20'

DATE: 09/14/2020

FILE NAME: SITE PLAN.DWG

J.M. Burnell
09/14/2020

RELEASED FOR PRINTING BY J.M. BURNELL DATE 09/14/2020



